



August 20, 2018

Mr. John Simpkins and Cindy Kramer  
2784 Fairfield Road  
Gettysburg, PA 17325

(717)353-6143

**Job Number: 5707**

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**Home Improvement Contractor Registration Number: PA000005**

**Attorney General Bureau of Consumer Protection Toll Free Number 1-888-520-6680**

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We herewith submit proposal for materials and labor to be supplied at the sole request and order of:

**Scope of Work:**

**KITCHEN RENOVATION**

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01.0145 - Material pick up and delivery per phase - 1 \$P

01.0175 - Site supervision per phase - 1 \$P

**SITE PREPARATION**

02.326. - Interior demo - 0 EA

Owner to do all demo (cabinet/countertop/drywall removal) prior to starting project.

**PLUMBING**

14.998 - Plumbing fixtures - 1 QP

Install new sink, faucet & drain.

1ea - Kohler K-6545-4U-FD Dickinson apron front undermount sink - Color: Cane Sugar

1ea - Jalco 2804AB Brass adjustable sink strainer - Color: Antique Brass

1ea - Wasterstone 5600-DAB PLO Pulldown faucet, standard reach - Color: Distressed Antique Brass

Owners initials ek

Owner's Initials \_\_\_\_\_

Contractors Initials cy

GCD Construction, Inc.  
6530 Derry Street  
Harrisburg, PA 17111

(717) 564-3039 Office  
(717) 564-7523 Fax  
[www.deimlerfamilyconstruction.com](http://www.deimlerfamilyconstruction.com)

14.999 - Plumbing - trade contractor quote - 1 EA  
Disconnect existing sink.  
Install new sink and faucet.

#### ELECTRICAL

16.997 - Electrical Fixtures - 1 EA  
Supply the following electrical fixtures:  
Progress recessed lighting  
WAC undercabinet and incabinet LED tape light with transformer  
OWNER to provide hanging fixtures.

16.998 - Electrical inspection - 1 EA

16.999 - Electrical - 1 EA  
All wiring is to comply with local electrical code.  
All wiring is to be inspected, approved, and placed in service.  
Electrical boxes are to be plastic (unless otherwise. The total number of new and/or relocated electrical boxes is to be 16  
NOTE: 1 box = 1 receptacle or 1 light fixture or 1 switch or 1 telephone or 1 CATV Dimmers are not included as a box. The dimmer switch is included with the electrical fixture allowance.  
NOTE: Boxes have a value of \$89.00/ box. Outlet and switch cover plates to be plastic.

#### INTERIOR WALLS

18.206. - Ceramic tile backsplash - 1 QP  
Install new ceramic backsplash including medallion above stove.

Mfrg'r: Seneca Tiles  
Series: Handmold  
Style: Seneca Select  
Color: Smoke  
Size: 2-1/4" x 8"  
Pattern: Brick lay  
Grout: Laticrete Epoxy #12\_\_\_\_  
Color: T.B.D.

Medalion: An allowance of \$400.00 has been included for the medallion.

#### CEILING COVERING

19.999 - Drywall - 1 EA  
Install new drywall on the walls and ceiling of the kitchen and eating area.

#### MILLWORK AND TRIM

20.002. - Base trim - 22 LF  
Install new base trim in the kitchen/eating area.

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## CABINETRY

21.432. - Granite - 1 QP

Granite countertops with built-up edge profile and bump-out at kitchen sink.

Color: Blue Dunes

Finish: Leather

Thickness: 3cm (includes material for stacked edges)

Edge Profile: Ogee edge (NOT BUILT UP/LAMINATED EDGE)

Drytreat natural stone

Splay corner

21.999 - Cabinetry - 1 EA

Install new Tedwood custom cabinetry in the kitchen as per new layout.

Wood species: Maple

Door style: Hancock full overlay

Paint color and glaze to be Eggshell with light brown shadow on the perimeter cabinetry and Fortress McHenry on the island and hutch cabinetry.

## PAINTING

24.999 - Painting - 1 EA

All painting labor and materials will be supplied by the Contractor. Painting will be two coats of one color on the walls and ceilings and 3 coats on the trims. NOTE: Additional charges will be made if more than two colors are used in the same room.

## CLEAN-UP

25.025 - Job site cleanup by phase - 1 \$P

Clean up and haul away all debris resulting from the job.

NOTE: Owner will provide a dumpster for all debris removal

## BATH RENOVATION

=====

## PLANS AND PERMITS

01.014 - Material pick up and delivery per phase - 1 \$P

01.018 - Site supervision - 1 \$P

On site and coordination supervision

## SITE PREPARATION

02.313. - Demo - 16 HR

Remove the existing tub/shower.

Remove the existing wall between toilet/shower room and vanity area (approximately 4')

Remove the tile floor covering

Remove the existing toilet and vanity

## PLUMBING

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14.997 - Plumbing - service - 24 HR

Install new toilet  
Install new vanity/top/faucets  
Install new tub  
Install new tub/shower faucet

14.998 - Plumbing fixtures - 1 QP

Install new plumbing fixtures.

Vanity:

2ea - Moen TS42114ORB Weymouth 2 handle widespread cross handle lav faucet - Color: Oil Rubbed Bronze

2ea - Moen 69000 M-Pact rough-in valve for faucet

2ea - Amesta 0614.000.021 Studio Unermount china bowl - Color: Bone

Toilet:

1ea - Toto MS974224CEFG#03 Guinevere one piece skirted toilet w/slow close seat - Color: Bone

1ea - Jalco 9231-ORB Trip lever - Color: Oil Rubbed Bronze

Tub/Shower:

1ea - Amesta 2461002.021 Cambridge 60"x32" Integral apron America Americast Right drain tub/shower - Color: Bone

1ea - Moen 90480ORB tub drain - Color: Oil Rubbed Bronze

1ea - Moen TS32104ORB Weymouth tub/shower trim kit - Color: Oil Rubbed Bronze

1ea - Moen 62300 IPS T/S Posi-Temp valve

Accessories:

1ea - CSI YB8408ORB Pivoting paper holder - Color: Oil Rubbed Bronze

1ea - CSI YB8424ORB 24" Weymouth towel bar - Color: Oil Rubbed Bronze

1ea - CSI YB8486ORB towel ring - Color: Oil Rubbed Bronze

14.999 - Glass Shower Enclosure - 1 QP

Install new double door hinged shower glass enclosure

3/8" Heavy glass enclosure - Clear glass

Oil Rubbed Bronze hardware

Diamon-Fusion Glass Coating

ELECTRICAL

16.115. - Single-pole switch - 1 EA

16.122. - Recessed fixture - 3 EA

Install new recessed fixture in the shower area and tub area.

16.997 - Electrical Fixtures - 1 EA

Owner to provide Vanity Light fixtures

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## INTERIOR WALLS

18.202. - Ceramic Tile in tub/shower - 1 QP

Install ceramic tile int tub/shower.. 1/2" cement board. Install waterproofing membrane. Set ceramic tile in thin set mortar Grout with spectralock epoxy grout

Mfgr'r: NBS

Series: Avenza Collection

Color: Avenza Honed

Size: 6"x12" brick lay

Grout: Laticrete Epoxy #12\_\_

Color: T.B.D.

Mfgr'r: NBS

Series: Avenza Collection

Color: Avenza Honed

Size: 12"x12" Sheet (Basket Weave)

1/2"x12" Pencil Liner

Grout: Laticrete Epoxy #12\_\_

Color: T.B.D.

18.400. - drywall - 1 EA

repair drywall in the bathroom.

## CABINETRY

21.432. - Granite - 1 QP

NO Granite has been included in the agreement for the specifications below due to wanting to reselect the stone. Once the stone color is selected, the granite will be priced using the secifications below and a change order will be issued;.

21.999 - Cabinetry - 1 EA

Install new Tedwood custom cabinetry in the kitchen as per new layout.

Wood species: Maple

Door style:Hancock full overlay

Paint color and glaze to be Fortress McHenry

## FLOOR COVERING

23.222. - Ceramic tile floor - 1 QP

Install ceramic tile on bathroom floor ditramat underlayment Thin set mortar Set ceramic tile, Grout with spectralock epoxy grout.

Mfgr'r: NBS

Series: Avenza Collection

Color: Avenza Honed

Size: 12"x12"

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Pattern: Diagonal  
Grout: Laticrete Epoxy #12\_\_\_  
Color: T.B.D.

#### PAINTING

24.999 - Painting - 1 EA

Paint the bathroom walls and ceiling (2 coats).

#### CLEAN-UP

25.025 - Job site cleanup by phase - 1 \$P

Clean up and haul away all debris resulting from the job.

NOTE: Owner will provide a dumpster for all debris removal

#### LAUNDRY ROOM

=====

#### PLANS AND PERMITS

01.0145 - Material pick up and delivery per phase - 1 \$P

01.0175 - Site supervision per phase - 1 \$P

#### SITE PREPARATION

02.326. - Interior demo - 0 EA

Owner to do all demo (cabinet/countertop) prior to starting project.

#### PLUMBING

14.998 - Plumbing fixtures - 1 EA

Supply new Kohler cast iron drop in deep sink and Kohler deep sink faucet with pull out spray.

NOTE: Final selection to be determined. An allowance of \$1,500.00 has been included for these items.

14.999 - Plumbing - trade contractor quote - 1 EA

Relocate plumbing for sink and washer hookup.

Install new sink and faucet.

#### CABINETRY

21.999 - Cabinetry - 1 EA

Install new Tedwood cabinetry in the laundry room (wall cabinetry above washer/dryer and deep sink and deep sink cabinet). Door style: Hancock full overlay

Paint color and glaze to be Eggshell with light brown shadow

#### FLOOR COVERING

23.999 - Ceramic Tile flooring - 1 QP

Mfg'r: Florida

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Series: Pietra Art Travertine  
 Style: Travertine  
 Color: P010 Silver  
 Size: 12"x12"  
 Pattern: Diagonal  
 Grout: Laticrete Epoxy #12\_\_\_  
 Color: T.B.D.

### PAINTING

24.999 - Painting - 1 EA

All painting labor and materials will be supplied by the Contractor. Painting will be two coats of one color on the walls and ceilings and 3 coats on the trims. NOTE: Additional charges will be made if more than two colors are used in the same room.

### CLEAN-UP

25.025 - Job site cleanup by phase - 1 \$P

Clean up and haul away all debris resulting from the job.

NOTE: Owner will provide a dumpster for all debris removal

Mr. John Simpkins and Cindy Kramer hereinafter referred to as Owner, agrees to have work to be performed at premises set forth above, according to the "Scope of Work" and the attached General Conditions, and approved plans (if applicable). The "Scope of Work" and approved plans shall take precedence provided they are not contrary to the local building code or other applicable local, state, and federal law:

We propose to furnish and install the above "Scope of Work" and the attached General Conditions for the Total Sales Price of: \$126,258.04

Payment to be made as follows:

TOTAL AMOUNT	\$126,258.04
DEPOSIT	\$0.00
DESIGN CREDITS	\$6,250.00
ADD'L TAX	\$0.00
BALANCE	\$120,008.04

Balance of payment to be made as follows:

Upon Acceptance	\$36,608.04
Start of construction	\$12,000.00
Start of drywall hanging	\$12,000.00
Start of cabinet setting	\$22,000.00
Start of countertops	\$10,000.00
Start of floor covering	\$10,000.00
Start of painting	\$12,000.00
Completion of Job	\$5,400.00

*pd ck #1  
2203  
8-20-1*

Owners initials CK

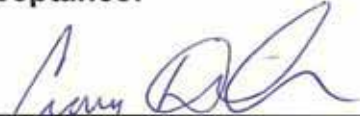
Owner's Initials \_\_\_\_\_ Contractors Initials CS

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**Contractor's Acceptance:**

Company

Representative Date 8-20-18

This proposal may be withdrawn if not accepted within 30 days

**Owner's Acceptance**

The foregoing terms, specifications, plans as attached (if applicable) and conditions are satisfactory and are hereby agreed to and made part of this agreement.

GCD Construction, Inc., d.b.a Deimler Family Construction is hereby authorized to do the work as specified and payment will be made as outlined above.

The Owner upon signing this agreement represents and warrants that he is the owner of the aforesaid premises and that he/she has read, and agrees to, this agreement and Terms and General Conditions (below).

Owner Date August 20, 2018

Owner \_\_\_\_\_

Date \_\_\_\_\_

**GENERAL CONDITIONS****NOTICE OF CANCELLATION/RIGHT OF RESCISSION:**

**YOU, THE OWNER, MAY CANCEL THIS TRANSACTION AT ANY TIME PRIOR TO MIDNIGHT OF THE THIRD BUSINESS DAY AFTER THE DATE OF THIS TRANSACTION WITHOUT PENALTY REGARDLESS OF WHERE THE CONTRACT WAS SIGNED. SEE ATTACHED 'NOTICE OF CANCELLATION'\*\* FORM FOR AN EXPLANATION OF THIS RIGHT – Attachment A**

\*\*This provision is inapplicable in transactions where emergency work is authorized under the section 7 of the act of December 17, 1968 (P.L. 1224 No. 387), known as the Unfair Trade Practices and Consumer Protection Law and the proper form is signed by Contractor and Owner.

**SPECIAL ORDER MATERIALS ARE NON-STOCK ITEMS THAT CANNOT BE RETURNED ONCE ORDERED BY CONTRACTOR.**

Any special order materials for the project are indicated above and the agreed to payment terms are as follows: When Contractor orders the materials, Owner shall, if required by Contractor, no later than 2 business days after receipt of Contractor's invoice pay the entire amount of special order materials in addition to any deposit already received. Owner acknowledges that special order materials cannot be returned once ordered by Contractor and Owner is solely responsible for the cost of the materials whether or not they are used for the Project. If the Contract is cancelled for any reason, the cost of special order materials will not be refunded by Contractor and the materials will be given to Owner. The special order materials will not be ordered before expiration of the Owner's 3 day Right of Cancellation.

**SPECIAL CLAUSES:**

Special clauses intended by Contractor and Owner to be made a part of this Contract shall be checked below and are identified as follows:

\_\_\_\_ Contractor's Limited Warranty – Attachment B

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- ☐ Notice of Claim and Right to Repair – Attachment C  
☐ Arbitration – Attachment D  
☐ Waiver/Release of Liens to be given to Owner at final payment.

### Performance of Work

Deimler Family Construction (herein after referred to as Contractor) agrees to complete the work in a substantial and workmanlike manner but is not responsible for:

- a. Failures or defects that result from work done by others prior to, at the time of, or subsequent to work done under this Agreement,
- b. Failure to keep gutters, downspouts and valleys reasonably clear of leaves or obstructions,
- c. Failure of the Owner to authorize Contractor to undertake needed repairs or replacement of fascia, vents, defective or deteriorated roofing or roofing felt, trim, sheathing, rafters, structural members, siding, masonry, caulking, metal edging, or flashing or any type, or any act of negligence or misuse by the Owner or any other party.

### Trade contracts

Contractor reserves the right to subcontract any and all of the work described in this contract. Agreements made with mechanics or trade contractors on the job by anyone other than a Deimler Family Construction representative are not recognized. No statement, arrangement or understanding, expressed or implied not contained herein will be recognized. Contractor shall pay all valid bills and charges for material and labor arising out of the construction of the structure for this project.

### Insurances

#### Contractor:

Contractor and all Trade Contractors employed by Contractor shall, at his own expense, carry all workmen's compensation insurance and public liability insurance necessary for the full protection of Contractor and Owner during the process of the work. At the time of signing this contract, Contractor maintains the following amount of insurance coverage: \$1,000,000.00 each occurrence (personal injury liability insurance) and \$1,000,000.00 each occurrence (property liability insurance) - \$2,000,000.00 aggregate which exceeds the PA State Minimum requirements of \$50,000.00. Certificates of such insurance shall be filed with Owner and with said Lien Holder if Owner so requires.

#### Owner:

Owner agrees to procure at his own expense, prior to the commencement of any work, fire insurance with Course of Construction, All Physical Loss and Vandalism and Malicious Mischief clauses attached in a sum equal to the total cost of the improvements. Such insurance shall be written to protect the Owner and Contractor, and Lien Holder, as their interest may appear. Should Owner fail so to do, Contractor may procure such insurance, as agent for Owner, but is not required to do so, and Owner agrees, on demand, to reimburse Contractor in cash for the cost thereof.

### Marketing

Owner hereby grants to Contractor the right to display signs and advertise at the building site. Owner further grants contractor the right to use pictures, artist's depictions, or the like, of the work to be performed in advertisement without further authorization from the owner and no compensation to the owner.

#### 1. STANDARD EXCLUSIONS:

This Agreement does NOT include the following unless specifically stated to the contrary in the General Scope of Work or on the approved plans:

- a. engineering fees;
- b. testing of soil or other materials;

Owners initials JK

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- c. public or private utility connection fees;
- d. surveying of property boundaries;
- e. handling, removal or disposal of any materials classified as hazardous by local, state or federal authorities (e.g. asbestos, lead paint, etc.);
- f. custom milling of any wood for use in project;
- g. moving Owner's property around the site;
- h. labor or material required to repair or replace any Owner-supplied materials;
- i. repair of concealed underground utilities damaged during construction which were not located on prints or physically staked out by Owner/utilities;
- j. final construction cleaning (Contractor will leave site in a "broom clean" condition);
- k. landscaping and irrigation work of any kind;
- l. temporary sanitation, power, water, or fencing;
- m. removal of soil under existing structure in order to obtain code required clearance space;
- n. removal of filled ground or rock or any other materials not removable by ordinary hand tools (unless heavy equipment and/or explosive demolition is specified in Scope of Work section above);
- o. correction of existing out-of-plumb or out-of-level conditions in existing structure;
- p. correction of concealed substandard framing;
- q. rerouting/removal of vents, pipes, ducts, structural members, wiring conduits or steel mesh which may be discovered in the course of construction;
- r. removal and replacement of existing materials damaged due to rot or insect infestation;
- s. failure of surrounding part of existing structure, despite Contractor's good faith efforts to minimize damage, such as plaster or drywall cracking and popped nails in adjacent rooms, blockage of pipes or plumbing fixtures caused by loosened rust within pipes;
- t. construction of a continuously level foundation around structure (if lot is sloped more than 6 inches from front to back or side to side, Contractor will step the foundation in accordance with the slope of the lot).
- u. exact matching of existing finishes;
- v. repair of damage to roadways, driveways, or sidewalks that could occur when construction equipment and vehicles are being used in the normal course of construction;
- w. any upgrades or repairs to existing plumbing, mechanical or electrical systems.

The Owner is solely responsible for providing Contractor prior to the commencing of construction with such water and electricity at the job site as may be required by Contractor to effect the construction of the improvement covered by this contract. Owner shall provide a designated restroom during the course of construction (unless otherwise specified).

#### COMMENCEMENT AND COMPLETION DATES

Commencement and completion dates may be adjusted for the following reasons: inclement weather, additional time required for Change Order work, and other delays unavoidable or beyond the control of the Contractor.

#### CHANGE ORDERS: CONCEALED CONDITIONS AND ADDITIONAL WORK

1. Concealed Conditions: This Agreement is based solely on the observations Contractor was able to make with the structure in its current condition at the time this Agreement was executed. If additional concealed conditions are discovered once work has commenced which were not visible at the time this proposal was bid, Contractor will stop work and point out these unforeseen concealed conditions to Owner so that Owner and Contractor can execute a Change Order for any Additional Work.
2. Deviation from Scope of Work: Owner agrees to pay contractor the normal selling price for all additions, alterations, or deviations. No additional work shall be done without prior written authorization of the Owner. Any such authorization shall be on a change-order form, approved by both parties, and shall become a part of this contract. Where such additional work is added to this Contract, it is agreed that all terms and

Owners initials ck

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Contractors Initials cn

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conditions of the Contract shall apply equally to such additional work. Any change in specifications or construction necessary to conform to existing and/or future building codes, zoning laws, or regulations of inspecting Public Authorities shall be considered additional work to be paid for by Owner as additional work. If the quantities of materials required under this contract are so altered as to create a hardship on the Contractor, the Owner shall be obligated to reimburse Contractor for additional expenses incurred. It is understood and agreed that if Contractor finds that extra concrete is required he is authorized by the Owner to pour the amount of concrete that is required by the building code or site conditions and shall promptly notify Owner of such extra concrete. Owner shall promptly deposit the cost of the required extra concrete with the Contractor. Any changes made under this Contract will not affect the validity of this document.

#### **WORK STOPPAGE, TERMINATION OF CONTRACT FOR DEFAULT INTEREST**

The time during which the Contractor is delayed in his work by (a) the acts of Owner or his agents or employees or those claiming under agreement with or grant from Owner, including any notice to the Lien Holder to withhold progress payments, or by (b) any acts or delays occasioned by the Lien Holder, or by (c) Acts of God or by (d) stormy or inclement weather which necessarily delays the work, or by (e) any strikes, boycotts, or like obstructive actions by employees or labor organizations and which are beyond reasonable control of Contractor and which Contractor cannot reasonably overcome, or by (f) extra work requested by the Owner, or by (g) failure of Owner to promptly pay for any extra work as authorized, shall be added to the time for completion by a fair and reasonable allowance. Should work be stopped for more than thirty (30) days by any or all of (a) through (g) above, the Contractor may terminate this Contract and collect for all work completed plus Contractors normal profit and overhead.

If work is stopped due to any of the above reasons (or for any other material breach of contract by Owner) for a period of fourteen (14) days, and the Owner has failed to take significant steps to cure his default, then Contractor may, without prejudicing any other remedies Contractor may have, give written notice of termination of the Agreement to Owner and demand payment for all completed work and materials ordered through the date of work stoppage, and any other loss sustained by Contractor, including normal Contractor's Profit and Overhead on the balance of the incomplete work under the Agreement. Thereafter, Contractor is relieved from all other contractual duties, including all Punch List, warranty work, and any other work contained within.

#### **ENTIRE AGREEMENT**

This Agreement, including any amendments agreed to and signed by Contractor and Owner and the notices and supplements which are attached and made a part of this Agreement, constitutes the entire agreement between Contractor and Owner. This contract supersedes all previous proposals, representations, understandings and communications among the parties, whether written or oral. No changes, additions or amendments to this Contract whatsoever are binding absent a writing signed by Contractor and Owner.

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# JOHN SIMPKINS & CINDY KRAMER

2184 FAIRFIELD RD  
GETTYSBURG PA 17325  
Phone: (717) 353-6143

## INTERNATIONAL RESIDENTIAL BUILDING CODE 2009

LOADING	DAMAGE FROM
SLEEPING SPACE	30 lb
LIVING SPACE	40 lb
ROOF SNOW LOAD	30 lb
WIND SPEED	90 mph
SOIL REACTION	3500 lb
DESIGN	OTHER
SEISMIC CAT.	B
WINTER TEMP.	0-50°F
FLOOD HAZARD	N/A
DEFLECTION- FLOORS	L/360
DEFLECTION- WALLS	L/240

## MUNICIPALITY INFORMATION

COUNTY:	ADAMS	SET BACKS
TOWNSHIP:	HIGHLAND	ZONING: R-2A
ADDRESS:	3641 FAIRFIELD RD GETTYSBURG PA 17325	FRONT:
PHONE #:	PHONE: (717) 677-7356	BACK:
		SIDE:

### SYMBOLS

	BRICK		RIGID INSULATION
	CERAMIC TILE		STRUCTURAL CONCRETE
	CONCRETE MASONRY UNIT		WOOD FINISHED
	CRUSHED STONE		WOOD ROUGH

## INDEX OF DRAWINGS

SHEET	DATE	ISSUED FOR PERMIT
CS1.00 COVER SHEET	06/19/18	
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1.01-1.04 PROPOSED FLOOR PLANS	06/19/18	
1.01-1.05 PROPOSED ELEVATIONS	06/19/18	
1.01-1.06 PROPOSED FLOORING PLANS	06/19/18	
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2.01-2.03 PROPOSED FLOORING PLANS		
2.01-2.04 PROPOSED ELEVATIONS		
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2.01-2.26 PROPOSED ELEVATIONS		
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2.01-2.28 PROPOSED ELEVATIONS		
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## LOCATION MAP

NOT TO SCALE



## REVISION DATE

NO.	DATE	DESCRIPTION
1	06/19/18	ISSUED FOR PERMIT

JOHN SIMPKINS & CINDY KRAMER  
2184 FAIRFIELD RD  
GETTYSBURG PA 17325  
PHONE: (717) 353-6143

DEIMLER FAMILY  
CONSTRUCTION  
1111 N. 11TH ST.  
GETTYSBURG, PA 17325  
PHONE: (717) 353-6143

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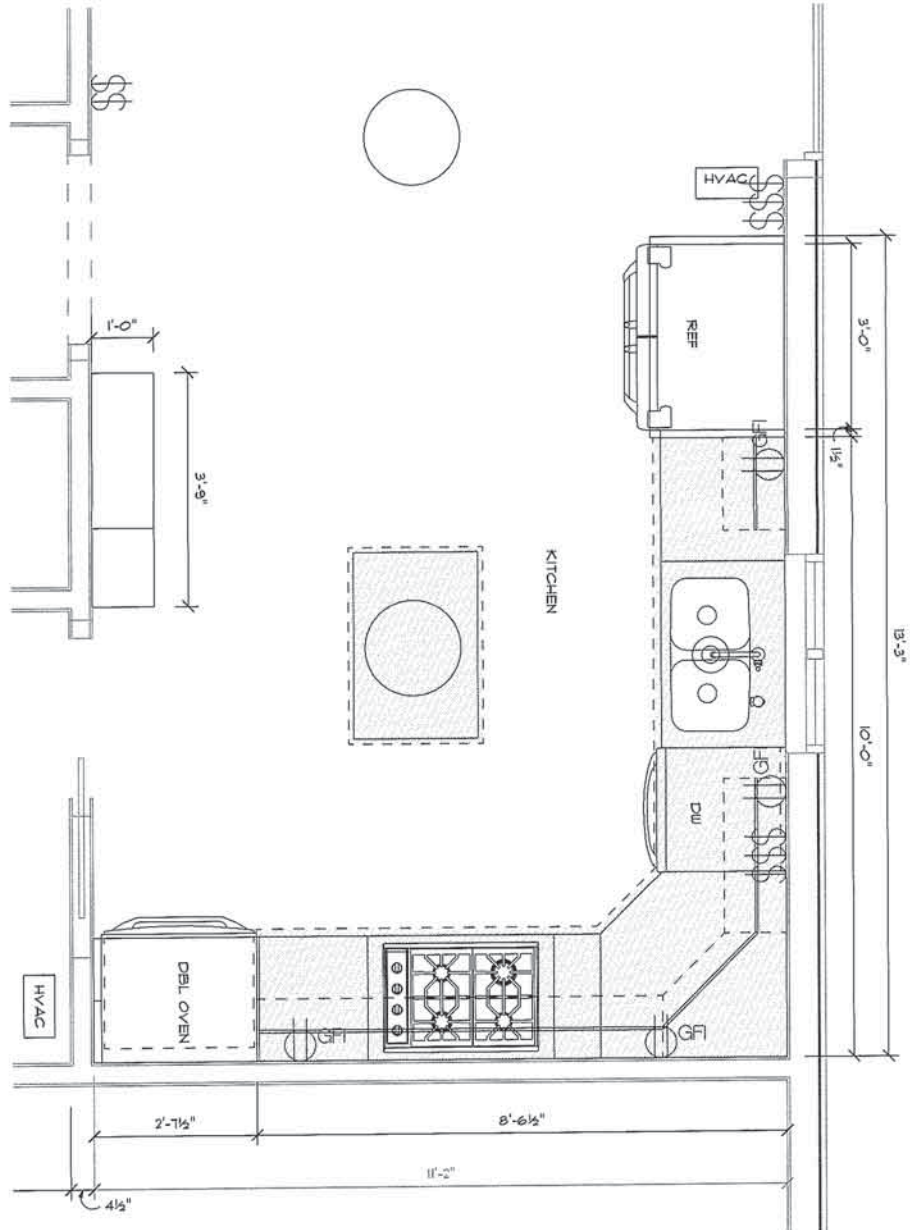
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2.01-3.00 PROPOSED ELEVATIONS

COVER SHEET  
KITCHEN

DRAWN: NATHAN BELLING  
CHECKED: [Signature]  
PRINTED: [Signature]  
APPROVED: [Signature]  
JOB NO.: 5707

CS1.00

DEMO BY OWNER PRIOR TO JOB START.  
REMOVE EXISTING ELECTRICAL.  
REF. DWG. E1.01 FOR DETAIL.



SCALE: 1/2"=1'-0"

①


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ELECTRICAL  
E1.01-1.03 ELECTRICAL PLANS

# DEIMLEH FAMILY

**DESIGN | BUILD | REMODEL**  
HIC R<sub>14</sub> = P1000005  
P-717-566-3019 [www.gdscorral.com](http://www.gdscorral.com)  
6533 Derry St., Harrisburg, PA 17111

JOYHN SIMPKINS & CINDY KRAEMER  
2784 FAIRFIELD RD  
GETTYSBURG PA 17325  
PHONE: (717) 353-6143

**KITCHEN**

DRAWN	NATHAN BELL
-------	-------------

CHECKED	
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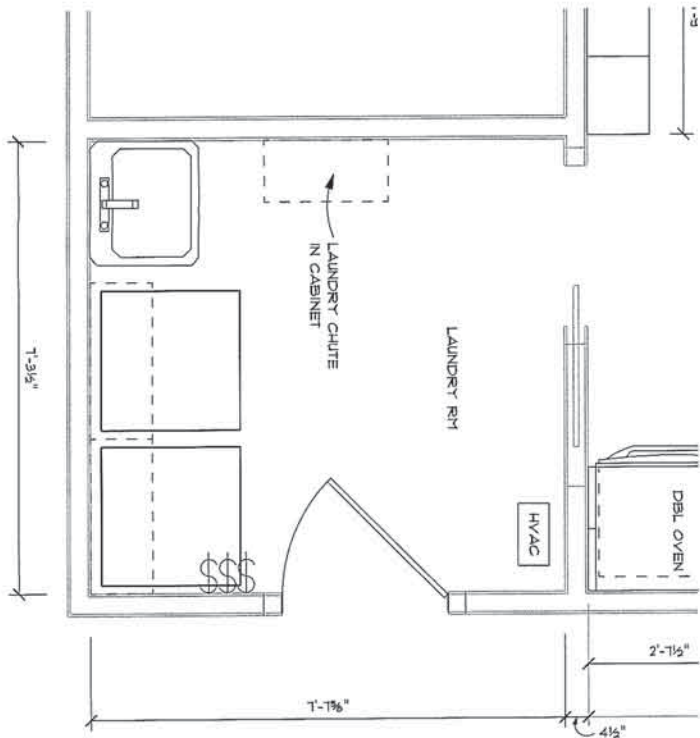
APPROVED	CK
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JOB NO.	5707
---------	------

SHEET: 7

D1.01

PROPOSED CONSTRUCTION NOTES:  
 DEMO BY OWNER PRIOR TO JOB START.  
 PREP. HVAC VENT FOR TOE/KICK INSTALLATION.  
 REF. DWG. A1.03 & A2.03 FOR DETAIL.  
 INSTALL NEW ELECTRICAL.  
 REF. DWG. E1.02 FOR DETAIL.



EXISTING/DEMO PLAN  
 SCALE: 1/2"=1'-0"  
 01.02

REVISION DATE	

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DESIGN/BUILD REMODEL  
 HIC INC. #10000005  
 8028 Derry St. Harrisburg, PA 17111  
 717-564-1303 www.hicremodel.com

JOHN SIMPKINS & CINDY KRAMER  
 2784 FAIRFIELD RD  
 GETTYSBURG PA 17325  
 PHONE: (717) 353-6143

KITCHEN

LAUNDRY RM

LAUNDRY CHUTE IN CABINET

DBL OVEN

HVAC

1'-3 1/2"

1'-1 5/8"

2'-7 1/2"

4 1/2"

D1.02

5707

WEEKS: AUGUST 2012

APPROVED

CHECKED

DRAWN

NATHAN BELLE

Case 1:20-bk-00841-HWV Doc 112 Filed 11/11/20 Entered 11/11/20 09:00:11 Desc Main Document Page 14 of 30



REVISION DATE

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ELECTRICAL  
E1.01-1.09 ELECTRICAL PLANS

**DEMLER FAMILY**  
CONSTRUCTION  
DESIGN/BUILD/REMODEL  
HIC INC. #14000005  
P07564-509 www.gscconstruction.com  
6330 Derry St. Harrisburg, PA 17111

JOHN SIMPKINS & CINDY KRAMER  
2784 FAIRFIELD RD  
GETTYSBURG PA 17325  
PHONE: (717) 353-6143

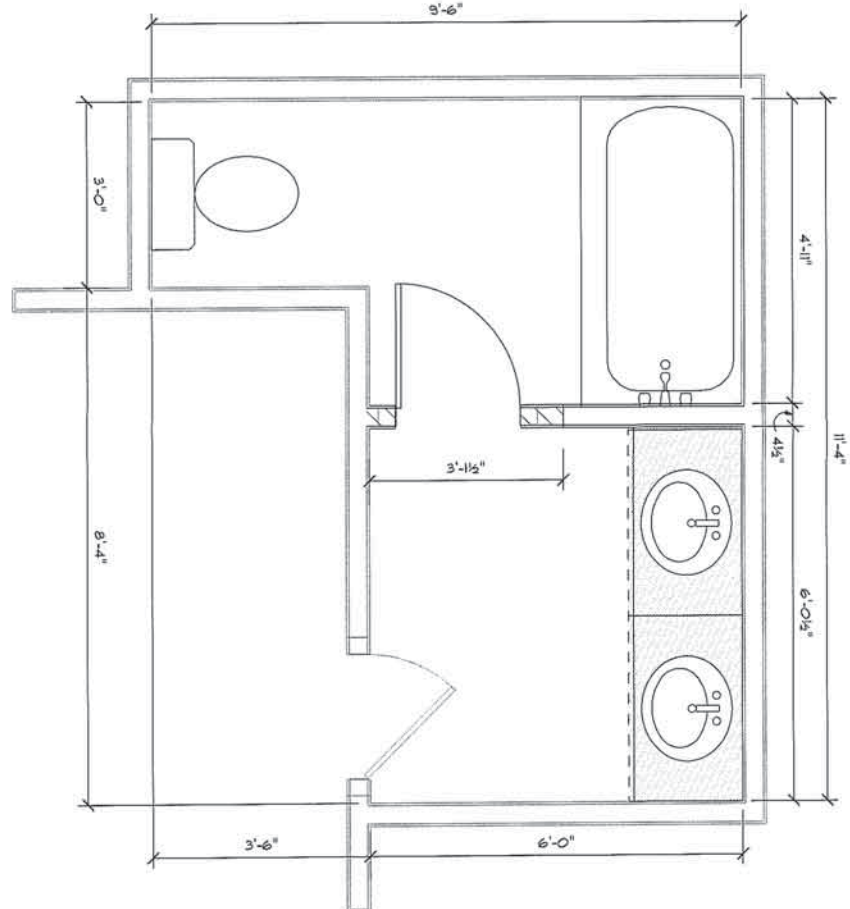
KITCHEN

EXISTING/DEMOLITION PLAN

DRAWN: NATALIE DELANEY  
CHECKED: [Signature]  
PRINTED: Wednesday, August 22, 2018  
APPROVED: [Signature]  
JOB NO.: 5707

SHEET: **D1.03**

PROPOSED CONSTRUCTION NOTES:  
REMOVE EXISTING VANITY INCLUDING COUNTER, SINKS, FAUCETS & DRAINS.  
REMOVE EXISTING TUB/SHOWER UNIT INCLUDING FIXTURES.  
REMOVE EXISTING TOILET & ACCESSORIES.  
REMOVE EXISTING WALL AS SHOWN INCLUDING DOOR, HARDWARE & TRIM.  
REMOVE EXISTING FLOORING.  
REF. DWG. A3.02 FOR DETAIL.  
RELOCATE ELECTRICAL AS NEEDED.  
REF. DWG. E1.03 FOR DETAIL.

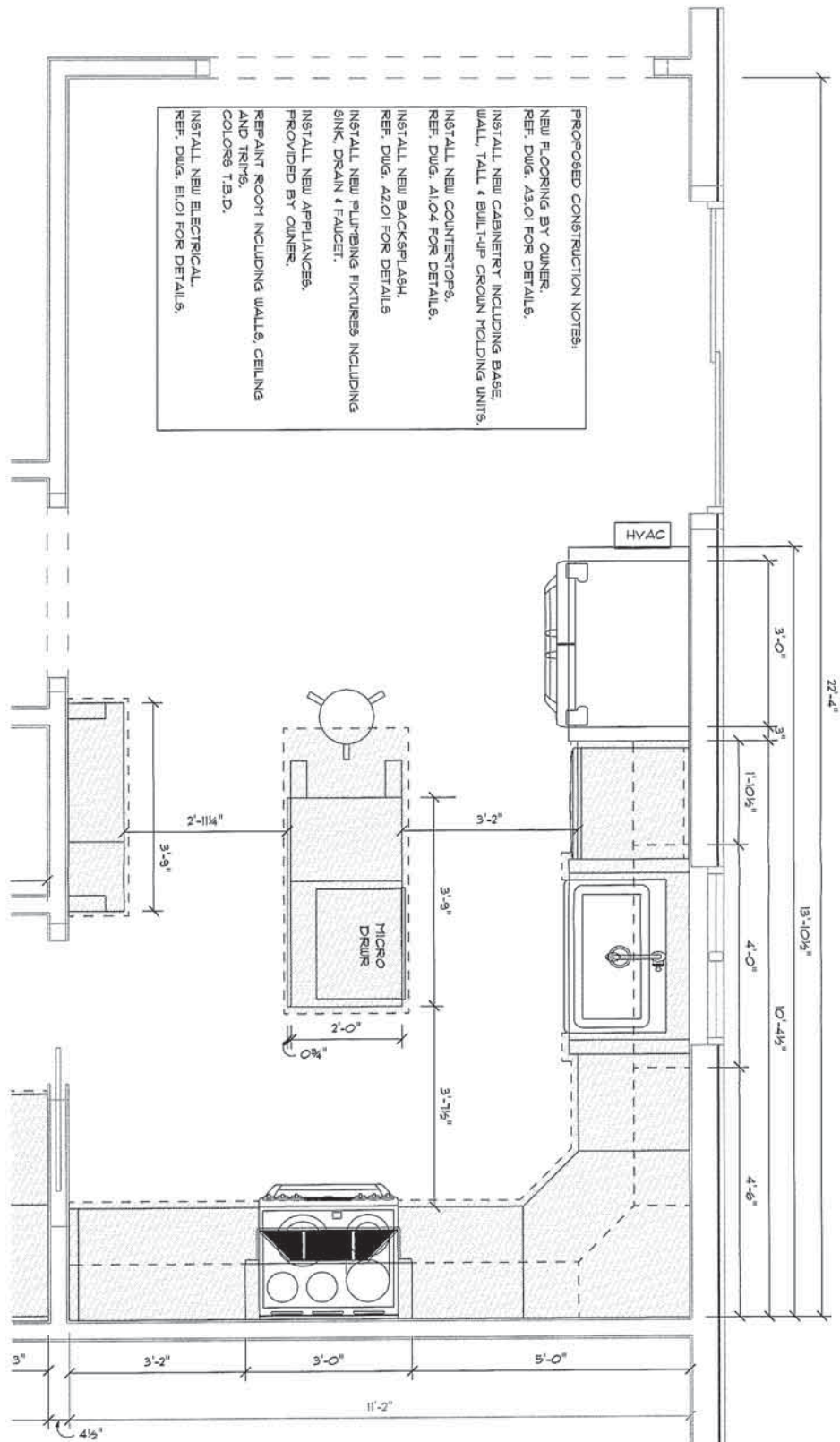


EXISTING/DEMOLITION PLAN  
SCALE: 1/2"=1'-0"  
D1.03

PROPOSED PLAN

SCALE: 1/2"=1'-0"

1  
A1.01



REVISION DATE


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FAMILY.

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A3.01.3.02 PROPOSED FLOORING  
A3.01.3.03 PROPOSED FLOORING  
E1.01.1.03 ELECTRICAL PLANS

DESIGN BUILD REMODEL  
HIC INC. #174000005  
15177 5th Avenue  
4830 Dury St. Harrisburg, PA 17111

JOHN SIMPKINS & CINDY KRAMER  
2784 FAIRFIELD RD  
GETTYSBURG PA 17325  
PHONE: (717) 353-6143

DRAWN: NATALIE DELLINGER  
CHECKED: WORKS  
PRINTED: WORKS  
APPROVED: WORKS  
JOB NO. 5707

SHEET: A1.01

PROPOSED CONSTRUCTION NOTES:

INSTALL NEW FLOORING.  
REF. DWG. A3.02 FOR DETAILS

INSTALL NEW VANITY INCLUDING COUNTERTOP,  
SINKS, FAUCETS & DRAINS.  
REF. DWG. A1.04 FOR DETAIL.

INSTALL NEW TOILET.

INSTALL NEW TUB/SHOWER BASE INCLUDING  
SHOWER FIXTURES.

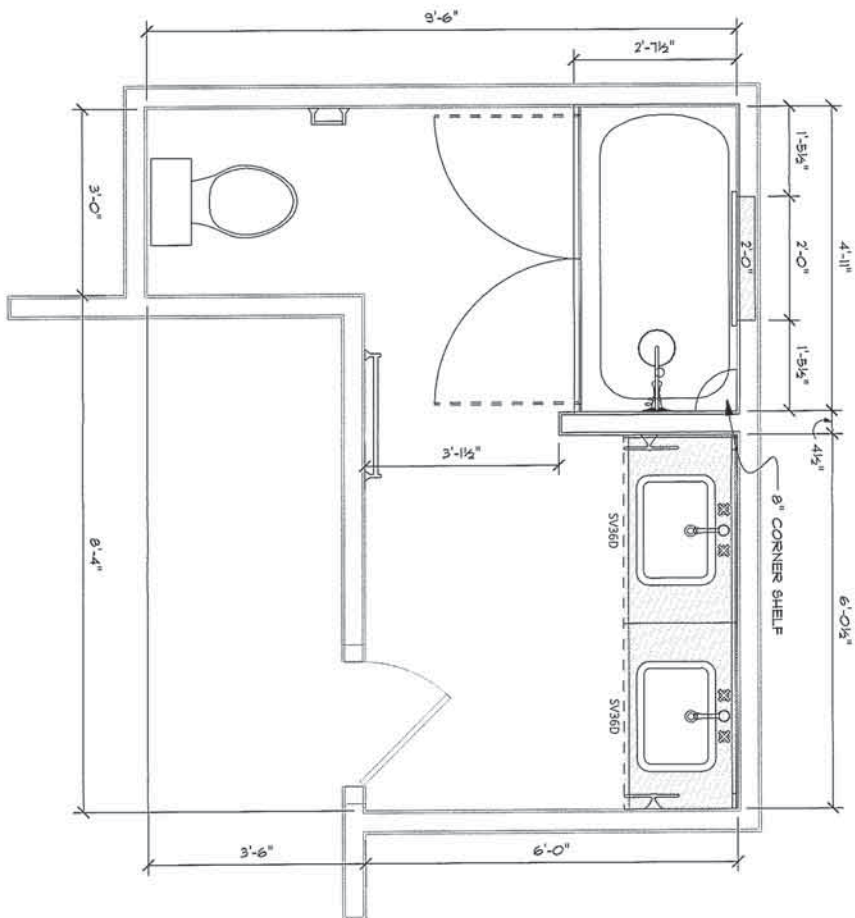
INSTALL NEW BATHROOM FIXTURE ACCESSORIES.

INSTALL NEW TILE SHOWER SURROUND INCLUDING  
RECESS NICHE w/SOLID SURFACE SILL & 8"  
CORNER SHELF.  
REF. DWG. A2.04 FOR DETAILS.

INSTALL NEW PIVOTING PANEL SHOWER DOORS  
INCLUDING HARDWARE. GLASS FINISH T.B.D.  
HARDWARE FINISH: OIL RUBBED BRONZE.

REPAINT ROOM INCLUDING WALLS, CEILING, AND TRIMS.

INSTALL NEW ELECTRICAL.  
REF. DWG. E1.03 FOR DETAILS.



# PROPOSED PLAN

1  
A1.03

SCALE: 1/2"=1'-0"

## REVISION DATE

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ELECTRICAL

E1.01-1.03 ELECTRICAL PLANS

DESIGN BUILD REMODEL  
HIC REC. # F14000005  
1577-541-309 www.gblconstruction.com  
6338 Derry St. Harrisburg, PA 17111

DEIMLER FAMILY  
CONSTRUCTION

JOHN SIMPKINS & CINDY KRAMER  
2784 FAIRFIELD RD  
GETTYSBURG PA 17325  
PHONE: (717) 353-6143

KITCHEN

DRAWN: NATALIE DELANEY

CHECKED: [Signature]

APPROVED: [Signature]

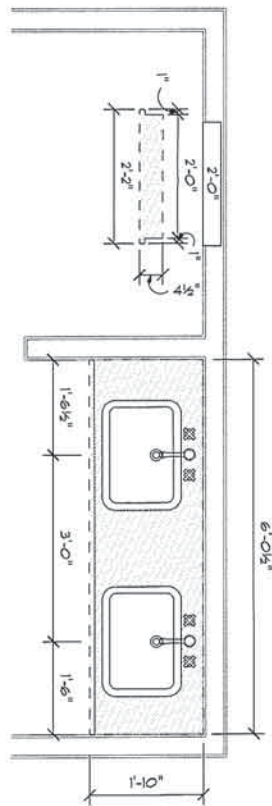
JOB NO. 5707

SHEET: A1.03

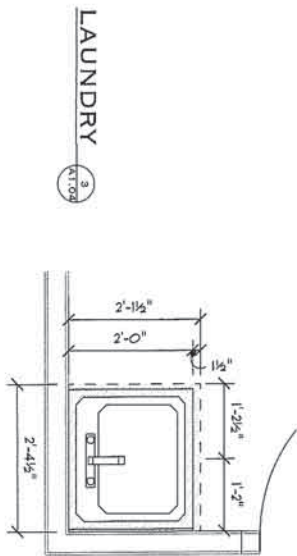


BATHROOM -  
MATERIAL: GRANTE  
COLOR: STAR BEACH  
FINISH: POLISHED  
SIZE: 3CM  
NICHE EDGE PROFILE: LEVEL O  
VANITY EDGE PROFILE: FULL BILLINOSE BOTTOM  
SMALL OGEE TOP

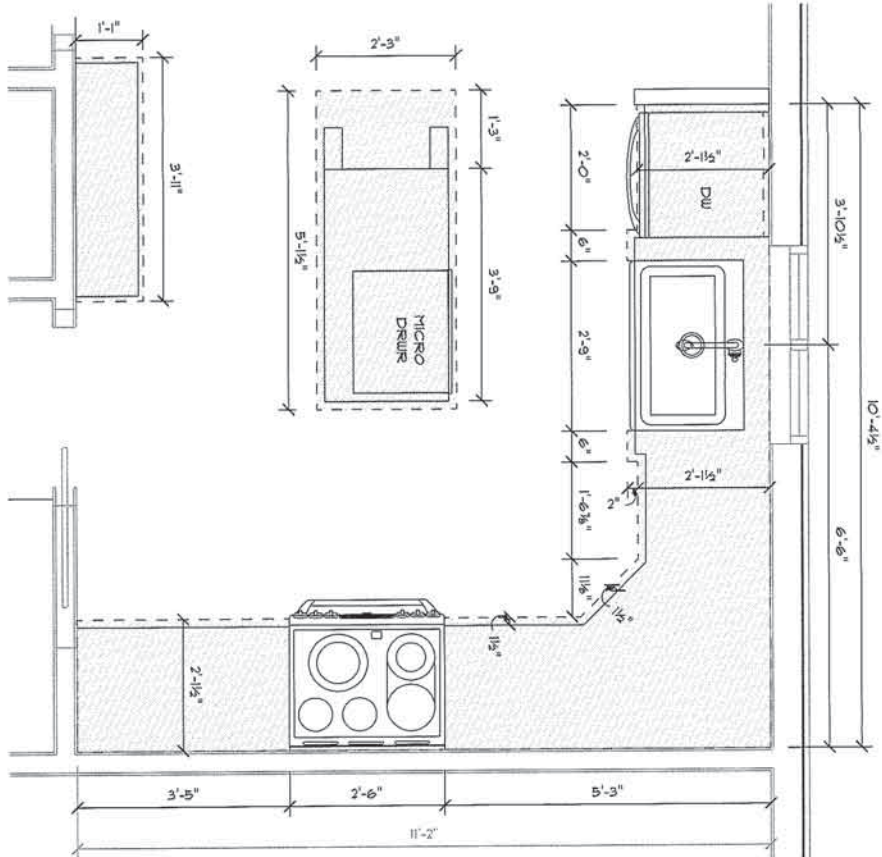
KITCHEN & LAUNDRY -  
MATERIAL: GRANITE  
COLOR: BLUE DUNES  
FINISH: LEATHER  
SIZE: 3CM  
EDGE PROFILE: FULL BULLNOSE BOTTOM  
SMALL OGEE TOP



BATHROOM



LAUNDRY



KITCHEN

## COUNTERTOPS PLAN

SCALE: 1/2"=1'-0"

REVISION DATE


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ELECTRICAL  
CS-01-1.03 ELECTRICAL PLANS

**DEIMLE**  
**FAMILY**

**DESIGN | BUILD | REMODEL**  
111C Rt. 6, PA000005  
P/27-254-2019 [www.geometric.com](http://www.geometric.com)  
4630 Perry St, Harrisburg, PA 17105

JOHN SIMPKINS & CINDY KRAMER  
2784 FAIRFIELD RD  
GETTYSBURG PA 17325  
PHONE: (717) 353-6143

KITCHEN

DRAWN	NA	MAN C...
CHECKED		
PRINTED	Wednesday, August 14, 2002 11:05 AM	
APPROVED	CK	
JOB NO.	5707	

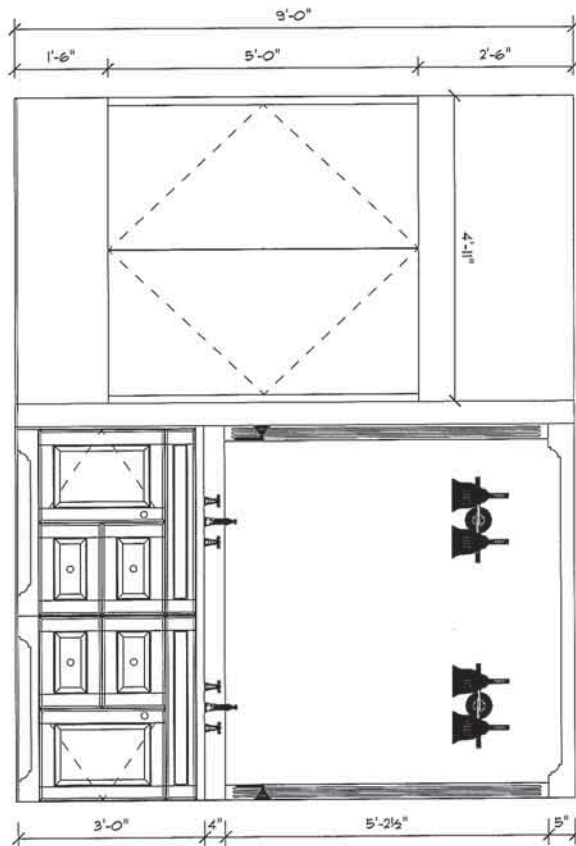
SHEET

A1.04

VANITY TOP:  
MATERIAL: GRANITE  
COLOR: GRANITE STAR BEACH  
THICKNESS: 3CM  
CUSTOM EDGE PROFILE: FULL BULLNOSE BOTTOM  
SPALL, OGEE TOP  
SPASH HEIGHT: 4"

VANITY CABINETRY:  
MFG. R. TEDD WOOD  
WOOD SPECIES: MAPLE  
COLLECTION: FORTRESS  
COLOR: MCHENRY  
DOOR STYLE: HANCOCK W/RAISED PANEL  
DOOR EDGE: L946  
DRAWER: RAISED PANEL  
DRAWER EDGE: L946  
TOEICK VALANCE:  
MIRROR(S) PROVIDED BY QUINER.  
INSTALLED BY GCD CONSTRUCTION INC.

SHOWER GLASS DOORS:  
THICKNESS: 3/8"  
STYLE:  
FINISH:  
HARDWARE: OIL RUBBED BRONZE

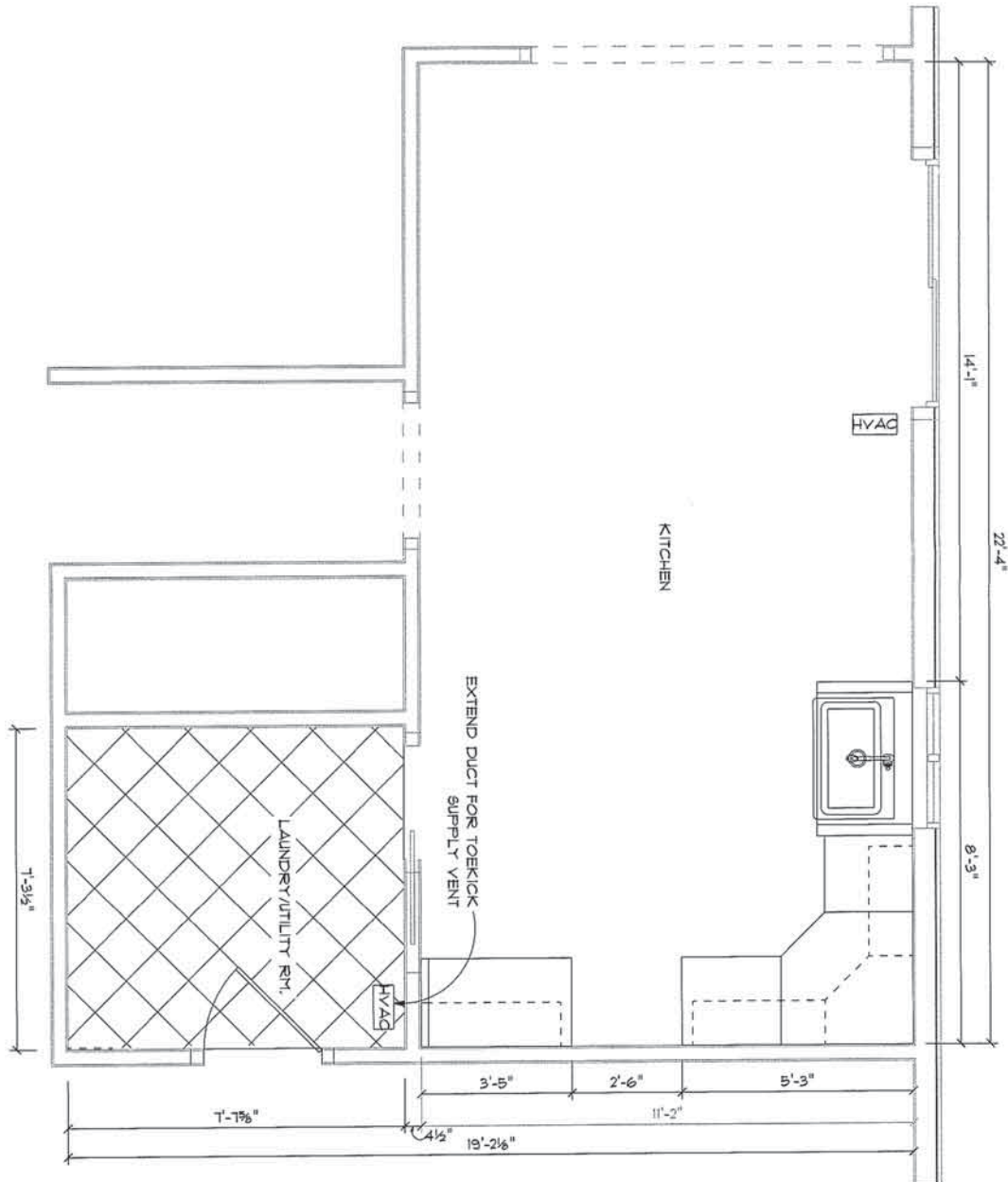


# FLOORING PLAN

1  
A3.01

SCALE: 3/8"=1'-0"

PROPOSED CONSTRUCTION NOTES:  
KITCHEN FLOORING BY OWNER.  
LAUNDRY/UTILITY ROOM:  
MFGRR: FLORIDA  
SERIES: PIETRA ART TRAVERTINE  
STYLE: TRAVERTINE  
COLOR: POLO SILVER  
SIZE: 12"x12"  
PATTERN: DIAGONAL  
GROUT: LATITECRE EPOXY #12\_  
COLOR: T.B.D.



REVISION DATE

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OR ENGINEER

FOR ANY PURPOSE

OTHER THAN THAT

FOR WHICH IT WAS

PREPARED

INDEX OF DRAWINGS

CS-1.00 COVER SHEET

ARCHITECTURAL

01.01-1.02 EXISTING/PROPOSED PLANS

1.01-1.04 PROPOSED FLOOR PLANS

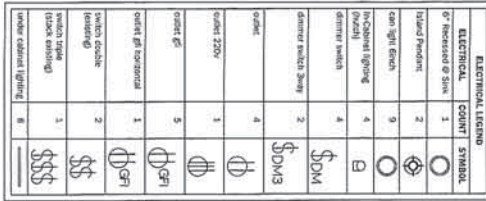
1.01-1.05 PROPOSED ELEVATIONS

1.01-1.06 PROPOSED SECTION

A3.01



①



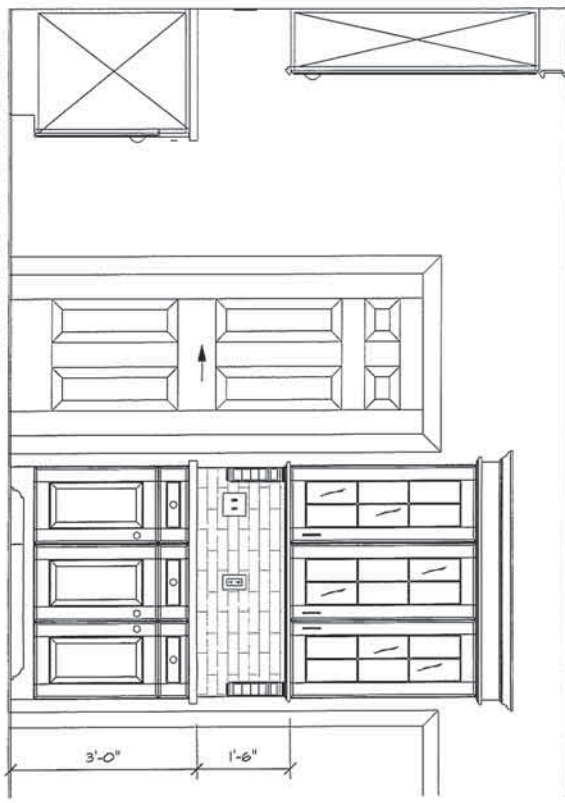
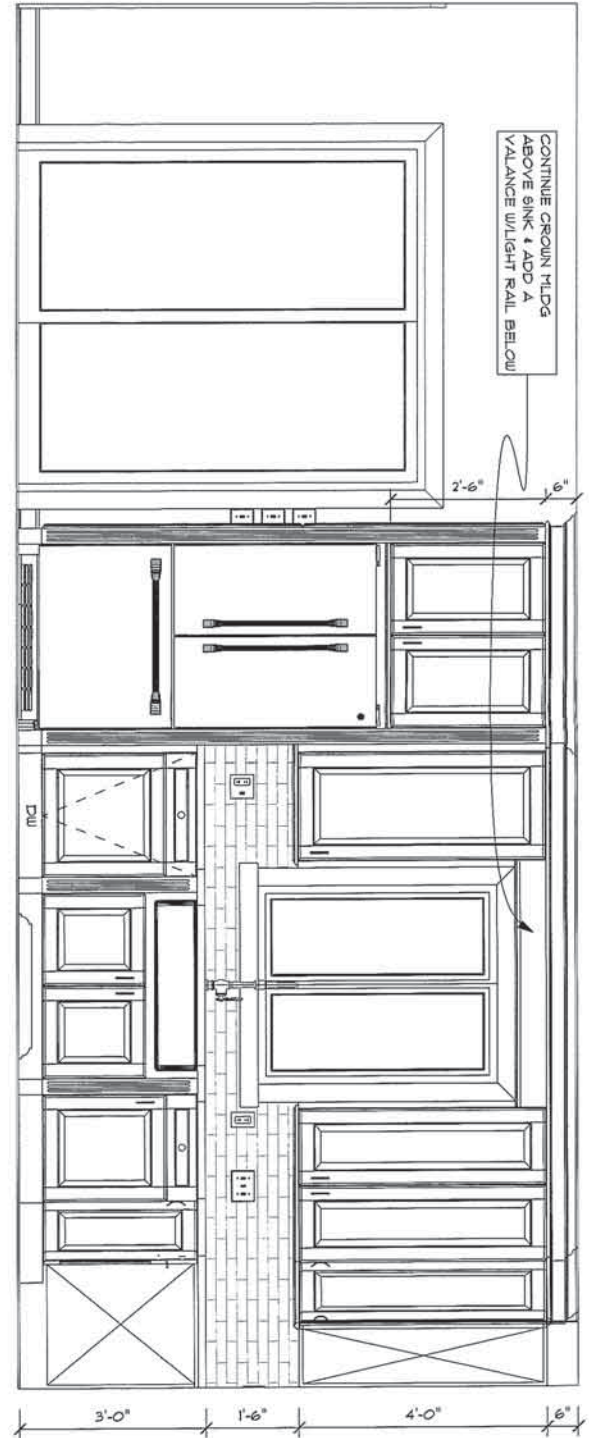
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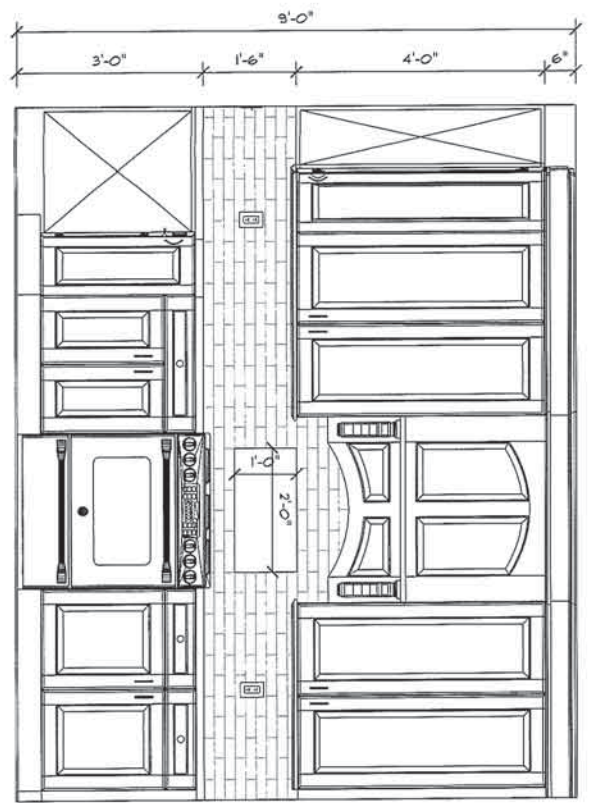


BACKPLASH TILE:  
 MFG: R. SENNECA  
 SERIES: SENNECA SUNSET  
 COLOR: SMOKE  
 SIZE: 24"x8"  
 PATTERN: STAGGERED  
 GROUT: LATCRETE EPOXY #12  
 COLOR: T.B.D.  
 MEDALLION ABOVE STOVE:  
 MFG: R.  
 SERIES:  
 COLOR:  
 SIZE:  
 GROUT: LATCRETE EPOXY #12  
 COLOR: T.B.D.

CONTINUE CROWN MOLD  
 ABOVE SINK & ADD A  
 VALANCE W/LIGHT RAIL BELOW



PROPOSED ELEVATIONS  
 SCALE: 1/2"=1'-0"



REVISION DATE

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 FAMILY

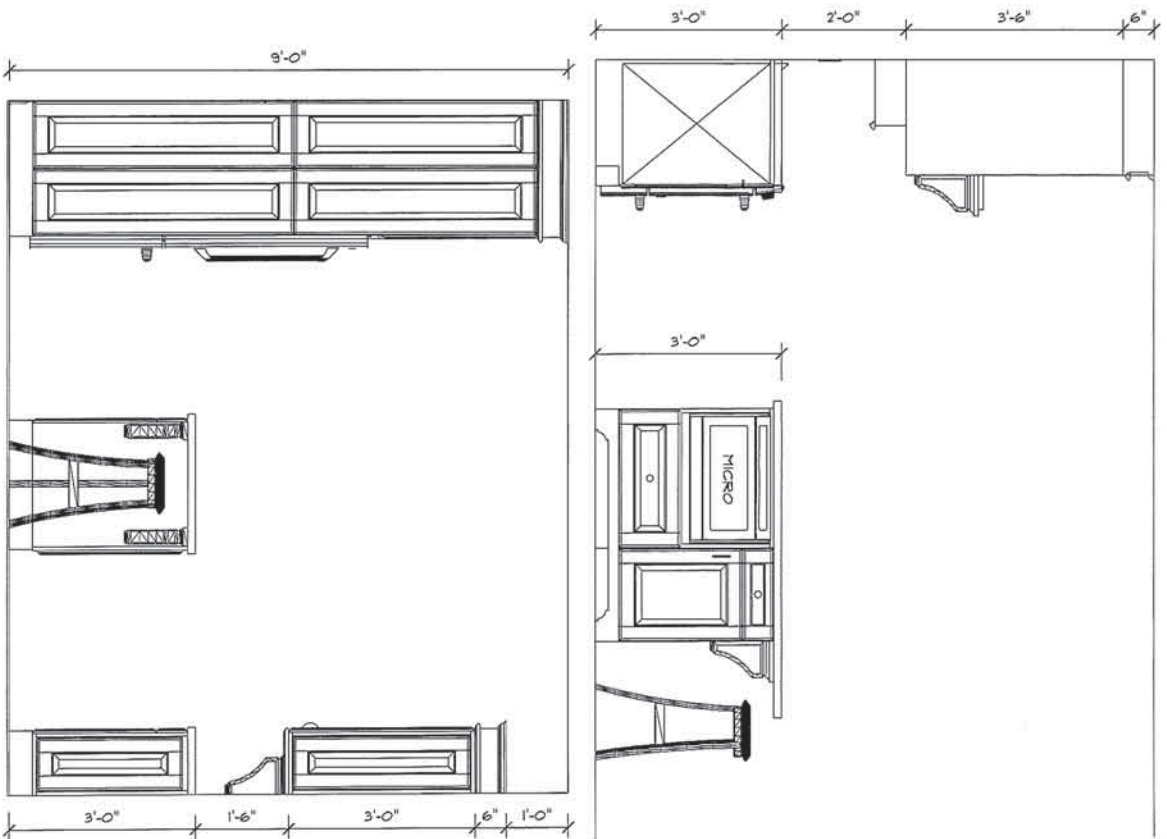
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 CSI 02 00 PROPOSED FLOORING

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 E1 01 97 ELECTRICAL PLANS  
 E1 01 98 ELECTRICAL PLANS  
 E1 01 99 ELECTRICAL PLANS  
 E1 02 00 ELECTRICAL PLANS

DEIMLER  
 FAMILY  
 CONSTRUCTION  
 DESIGN BUILD REMODEL  
 1111 Locust St. #1000  
 Philadelphia, PA 19107  
 215-595-1800  
 www.deimlerfamily.com

JOHN SIMPKINS & CINDY KRAMER  
 2784 FAIRFIELD RD  
 GETTYSBURG PA 17325  
 PHONE: (717) 353-6143  
 KITCHEN

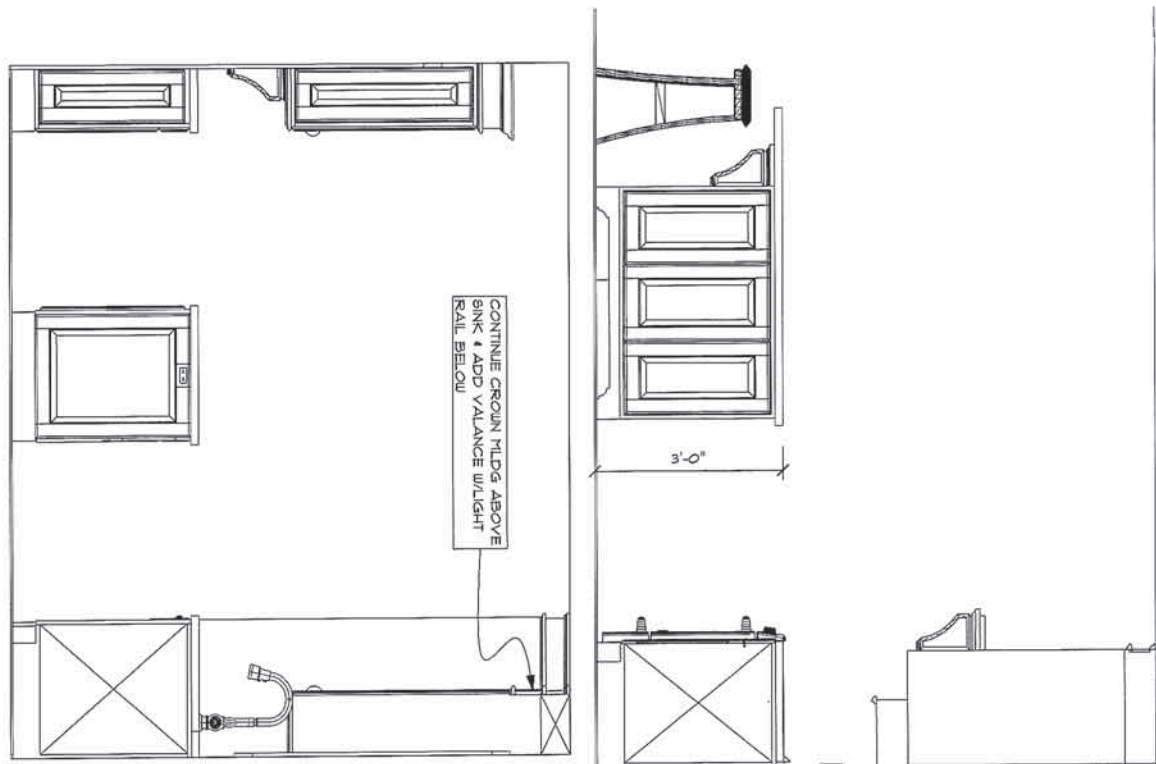
JOHN SIMPKINS & CINDY KRAMER  
 2784 FAIRFIELD RD  
 GETTYSBURG PA 17325  
 PHONE: (717) 353-6143  
 KITCHEN



PROPOSED ELEVATIONS

SCALE: 1/2"=1'-0"

1  
A2.02



CONTINUE CROWN MOLD ABOVE  
SINK & ADD VALANCE W/ LIGHT  
RAIL BELOW

REVISION DATE 11/11/20		COPYRIGHT © 2018 BY DEMLER FAMILY ALL RIGHTS RESERVED NO PART OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM DEMLER FAMILY.		INDEX OF DRAWINGS CSI 00 COVER SHEET ARCHITECTURAL 01 01 1-00 EXISTING/PROPOSED PLANS 01 01 1-00 PROPOSED FLOOR PLANS 01 01 1-00 PROPOSED SECTION PLANS 01 01 1-00 PROPOSED ELEVATIONS 01 01 1-00 PROPOSED DETAILS 01 01 1-00 PROPOSED FINISHES 01 01 1-00 PROPOSED SCHEDULES 01 01 1-00 PROPOSED SPECIFICATIONS 01 01 1-00 PROPOSED NOTES 01 01 1-00 PROPOSED LEGEND 01 01 1-00 PROPOSED INDEX		ELECTRICAL 01 01 1-00 ELECTRICAL PLANS		DEMLER FAMILY DESIGN BUILD REMODEL HIC Inc. # 174000005 1577-54-5309 www.gibsoninc.com 1538 Derry St. Harrisburg PA 17111		KITCHEN DRAWN: NATALIE DELANEY CHECKED: WENDY ARNETT PRINTED: WENDY ARNETT APPROVED: WENDY ARNETT JOB NO. 5707 SHEET A2.02		JOYHN SIMPKINS & CINDY KRAMER 2784 FAIRFIELD RD GETTYSBURG PA 17325 PHONE: (717) 353-6143 KITCHEN	
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GCD Construction, Inc.  
 6530 Derry Street  
 Harrisburg, PA 17111  
 Phone: (717) 564-3039  
 Fax: (717) 564-7523  
 www.deimlerfamilyconstruction.com



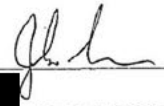
# Invoice

Invoice #: 5707-7666  
 Invoice Date: 08/20/2018

MAILING ADDRESS	HIC REG. # PA000005	JOB ADDRESS
Simpkins, John & Cindy Kramer 2784 Fairfield Road Gettysburg, PA 17325 Home Phone: (717)353-6143		Simpkins, John & Cindy Kramer 2784 Fairfield Road Gettysburg, PA 17325 Job Phone: (717)353-6143

Job Number	Due Date	Terms	Lead Assigned
5707	08/20/2018	Due Upon Receipt	

Qty	Description	U/Price	Reference	Amount	Balance
1.00	CP/5707-7666 - Upon Acceptance	\$36,608.04	CP/5707	\$36,608.04	\$36,608.04
0.00	Payment (Ref. # 2203)	\$0.00	2203	-\$36,508.00	\$100.04
<b>Notes:</b>				<b>TOTAL</b>	<b>\$100.04</b>

<b>MIDATLANTIC WILDLIFE CONTROL</b> 2784 FAIRFIELD RD. GETTYSBURG, PA 17325		2203
DATE <u>08-20-2018</u>		60-295/313
PAY TO THE ORDER OF <u>DEIMLER FAMILY CONSTRUCTION</u>	\$39,633.00	
Thirty nine Thousand six hundred Thirty Three		00 DOLLARS
M&T Bank FOR <u>Kitchen Remodel</u>		
⑈002203⑈		

0013762857	>031308807< Mid Penn Bank #013 2018-08-20 0013762857 Batch 152925122	DO NOT WRITE, STAMP, OR SIGN HERE
------------	--	--------------------------------------

Posting Date 2018 Aug 21  
 Research Seq # 8007349959  
 Account # XXXXXXXXXX  
 Check/Store # 2203  
 DB/CR DB  
 Dollar Amount \$39,633.00  
 Bank # 096  
 Branch # 06489  
 Deposit Acct # 0  
 Record Type # 01

<http://cta-1wbv009.prod.mtb.com/inquiry/servlet/inquiry>

1/23/2019



<b>MIDATLANTIC WILDLIFE CONTROL</b> 2784 FAIRFIELD RD. GETTYSBURG, PA 17325		2233
DATE <u>10-9-2018</u> 60-295/313		
PAY TO THE ORDER OF <u>GCD Construction</u> <u>Twelve Thousand dollars</u> → <u>90</u> / <u>100</u>	\$ <u>12,000.00</u> DOLLARS	
M&T Bank		<u>John</u>
FOR <u>[REDACTED]</u>		[REDACTED]
⑆002233⑆ [REDACTED]		

⑆006886510 MICHAEL J. HARRIS PRESIDENT 1000 N. MARKET ST. SUITE 100 HARRISBURG, PA 17101-2000	DO NOT WRITE, STAMP OR SIGN BELOW THIS LINE [REDACTED]
FOR DEPOSIT ONLY GCD CONSTRUCTION INC. BRADENLIER FAMILY CONSTRUCTION 1800/731	Mid Penn Bank #006 2018-10-10 Batch [REDACTED]

Posting Date 2018 Oct 11

Research Seq # [REDACTED]

Account # [REDACTED]

Check/Store # 2233

DB/CR DB

Dollar Amount \$12,000.00

Bank # 096

Branch # 06489

Deposit Acct # 0

Record Type # 01

<http://cta-1wbv009.prod.mtb.com/inquiry/servlet/inquiry>

1/23/2019

<b>MIDATLANTIC WILDLIFE CONTROL</b> 2784 FAIRFIELD RD. GETTYSBURG, PA 17325		2240
PAY TO THE ORDER OF <u>Deborah's Family Construction</u>		DATE <u>Oct 23, 2018</u> 60.295/313
<u>Twelve Thousand dollars and 00/100</u>		\$ <u>12,000.00</u>
<b>M&amp;T Bank</b>		DOLLARS
FOR <u>[REDACTED]</u>		<u>[Signature]</u>
*002240*		

FEDERAL RESERVE NOTE TWELVE THOUSAND DOLLARS	Mid Penn Bank #005 2018-10-24 Batch 159711850
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Posting Date 2018 Oct 25  
 Research Seq # [REDACTED]  
 Account # [REDACTED]  
 Check/Store # 2240  
 DB/CR DB  
 Dollar Amount \$12,000.00  
 Bank # 096  
 Branch # 06489  
 Deposit Acct # 0  
 Record Type # 01

<http://cta-1wbv009.prod.mtb.com/inquiry/servlet/inquiry>

1/23/2019

<b>MIDATLANTIC WILDLIFE CONTROL</b> 2784 FAIRFIELD RD. GETTYSBURG, PA 17325		2244
PAY TO THE ORDER OF <u>Deimler Family Construction</u>		DATE <u>11-3-2018</u> 60-295/313
<u>Twenty Two Thousand</u>		\$ <u>22,000.00</u>
M&T Bank FOR <u>CABINET setting</u>		DOLLARS <u>100</u>
⑈002244⑈		<u>John</u>


0005314209 MICR LINE	FOR DEPOSIT ONLY MID PENN BANK #006 2018-11-06 Batch 150876200
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Posting Date 2018 Nov 06  
 Research Seq # [REDACTED]  
 Account # [REDACTED]  
 Check/Store # 2244  
 DB/CR DB  
 Dollar Amount \$22,000.00  
 Bank # 096  
 Branch # 06489  
 Deposit Acct # 0  
 Record Type # 01

<http://cta-1wbv009.prod.mtb.com/inquiry/servlet/inquiry>

1/23/2019



<b>MIDATLANTIC WILDLIFE CONTROL</b> 2784 FAIRFIELD RD. GETTYSBURG, PA 17325		2248
DATE <u>11-14-2018</u> 60-295/313		
PAY TO THE ORDER OF <u>Deimler Family Construction</u>		\$ <u>12000.00</u>
<u>Twelve Thousand</u>		$\frac{00}{100}$ DOLLARS
M&T Bank FOR <u>PRINTING INVOICE</u>		
#002248#		

DO NOT WRITE FOR DEPOSIT ONLY GCD CONSTRUCTION INC. DBA DEIMLER FAMILY CONSTRUCTION 1800731	Mid Penn Bank #006 2018-11-14 Batch 161912074
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Posting Date 2018 Nov 15

Research Seq # [REDACTED]

Account # [REDACTED]

Check/Store # 2248

DB/CR DB

Dollar Amount \$12,000.00

Bank # 096

Branch # 06489

Deposit Acct # 0

Record Type # 01

<http://cta-1wbv009.prod.mtb.com/inquiry/servlet/inquiry>

1/23/2019